

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expires February 28, 2009

Important: Read the instructions on pages 1-8.

B05-04630		<b>SECTION A - PROPERTY INFORMATION</b>		For Insurance Company Use:	
A1. Building Owner's Name Joseph Pollio Jr. and Elizabeth Pollio				Policy Number	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 100 Cape Florida Drive				Company NAIC Number	
City Key Biscayne State FL ZIP Code 33149					

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)  
Lot 24, Blk 8 of "Cape Florida Subdivision Section 3" as recorded in PB 79-64 of the Public Records of Miami-Dade County, FL

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential

A5. Latitude/Longitude: Lat. 25°40'59.4047" Long. 80°9'41.0904" Horizontal Datum: ☐ NAD 1927 ☒ NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 1

A8. For a building with a crawl space or enclosure(s), provide

a) Square footage of crawl space or enclosure(s)	<u>N/A</u> sq ft	A9. For a building with an attached garage, provide:	
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade	<u>3</u>	a) Square footage of attached garage	<u>1320</u> sq ft
c) Total net area of flood openings in A8.b	<u>768</u> sq in	b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade	<u>7</u>
		c) Total net area of flood openings in A9.b	<u>1792</u> sq in

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number Village of Key Biscayne 120648		B2. County Name Miami-Dade		B3. State FL	
B4. Map/Panel Number 12025C 0281	B5. Suffix J	B6. FIRM Index Date 7-17-95	B7. FIRM Panel Effective/Revised Date 3-2-94	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 9.0'

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.  
☐ FIS Profile ☒ FIRM ☐ Community Determined ☐ Other (Describe) \_\_\_\_\_

B11. Indicate elevation datum used for BFE in Item B9: ☒ NGVD 1929 ☐ NAVD 1988 ☐ Other (Describe) \_\_\_\_\_

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? ☐ Yes ☒ No  
Designation Date \_\_\_\_\_ ☐ CBRS ☐ OPA

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings\* ☐ Building Under Construction\* ☒ Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.  
Benchmark Utilized MI-15-R Vertical Datum NGVD 1929  
Conversion/Comments \_\_\_\_\_

Check the measurement used.

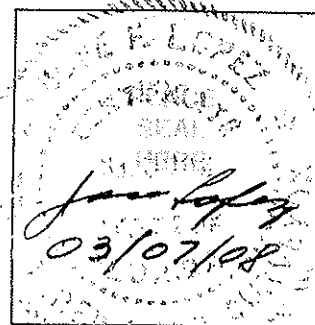
a) Top of bottom floor (including basement, crawl space, or enclosure floor)	<u>6.05</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>15.00</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>5.40</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	<u>10.00</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade (LAG)	<u>5.3</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG)	<u>5.6</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

☒ Check here if comments are provided on back of form.

Certifier's Name Jose F. Lopez		License Number 3086	
Title Land Surveyor and Mapper	Company Name J.F. Lopez & Associates, Inc.		
Address 7900 NW 155 <sup>th</sup> Street, Suite 104	City Miami Lakes	State FL	ZIP Code 33016
Signature <i>Jose F. Lopez</i>	Date 03/07/08	Telephone (305)828-2725	

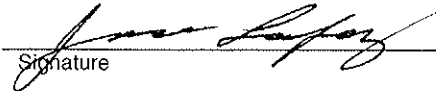


<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>		For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 100 Cape Florida Drive		Policy Number
City Key Biscayne State FL ZIP Code 33149		Company NAIC Number

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments Highest Crown of Road Elevation in Front of Property: 4.95' N.G.V.D.  
Type of Equipments: 8 air condensing units and 1 electric generator in concrete slab at elevation 10.0'

Signature 	Date 03/07/08	<input type="checkbox"/> Check here if attachments
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**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).  
a) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.  
b) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the LAG.

E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E3. Attached garage (top of slab) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name \_\_\_\_\_

Address _____	City _____	State _____	ZIP Code _____
Signature _____	Date _____	Telephone _____	
Comments _____			

☐ Check here if attachments

**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8. and G9.

G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3. ☐ The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number _____	G5. Date Permit Issued _____	G6. Date Certificate Of Compliance/Occupancy Issued _____
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G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum \_\_\_\_\_

G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum \_\_\_\_\_

Local Official's Name _____	Title _____
Community Name _____	Telephone _____
Signature _____	Date _____
Comments _____	

☐ Check here if attachments

# Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 100 Cape Florida Drive	For Insurance Company Use: Policy Number
City Key Biscayne State FL ZIP Code 33149	Company NAIC Number
If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page, following.	

FRONT VIEW

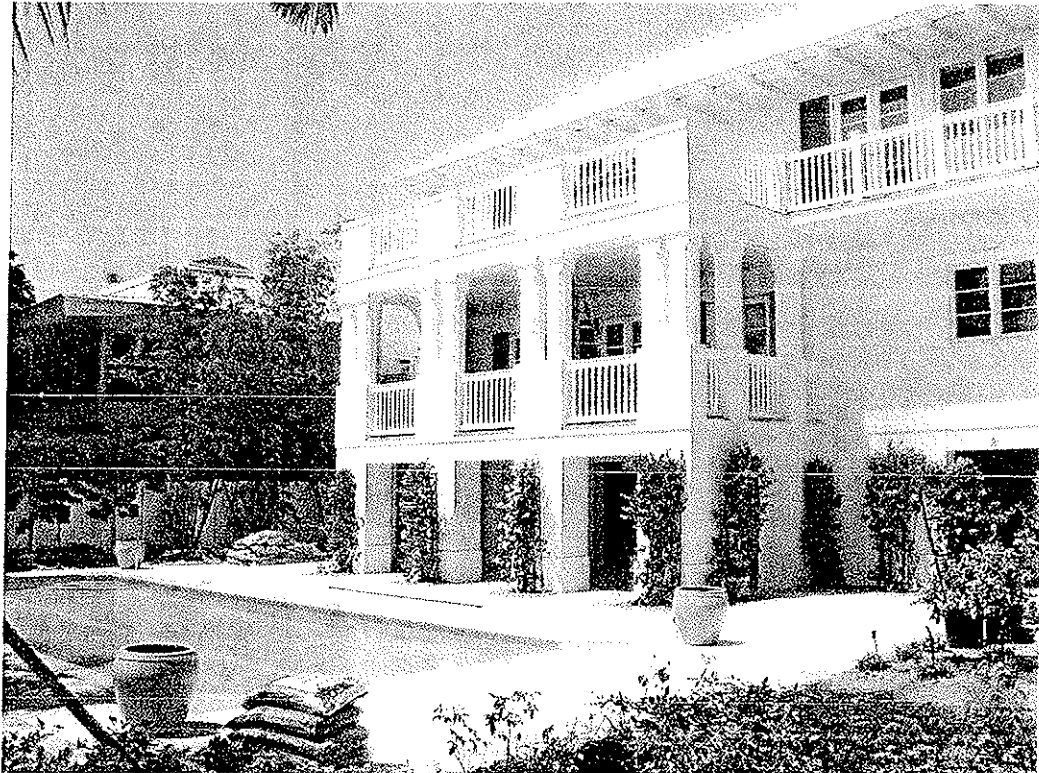


# Building Photographs

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 100 Cape Florida Drive	For Insurance Company Use: Policy Number
City Key Biscayne State FL ZIP Code 33149	Company NAIC Number
If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."	

REAR VIEW



# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expires February 28, 2009

Important: Read the instructions on pages 1-8.

B05-04230		<b>SECTION A - PROPERTY INFORMATION</b>		For Insurance Company Use:	
A1. Building Owner's Name Joseph Pollio Jr. and Elizabeth Pollio.				Policy Number	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 100 Cape Florida Dr.				Company NAIC Number	
City Key Biscayne State FL ZIP Code 33149					

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 24, in Block 8, of "CAPE FLORIDA SUBDIVISION SECTION 3", according to PB 79-64, of Miami Dade, FL.	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>	
A5. Latitude/Longitude: Lat. <u>25°40'59.4047"</u> Long. <u>80°9'41.0904"</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983	
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.	
A7. Building Diagram Number <u>1</u>	
A8. For a building with a crawl space or enclosure(s), provide: a) Square footage of crawl space or enclosure(s) <u>N/A</u> sq ft b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade <u>N/A</u> c) Total net area of flood openings in A8.b <u>N/A</u> sq in	
A9. For a building with an attached garage, provide: a) Square footage of attached garage <u>594</u> sq ft b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade <u>N/A</u> c) Total net area of flood openings in A9.b <u>N/A</u> sq in	

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number Village of Key Biscayne 120648		B2. County Name Miami-Dade		B3. State FL	
B4. Map/Panel Number 12025C 0281	B5. Suffix J	B6. FIRM Index Date 7-17-95	B7. FIRM Panel Effective/Revised Date 3-2-94	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 9.0'

- B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.  
☐ FIS Profile ☒ FIRM ☐ Community Determined ☐ Other (Describe) \_\_\_\_\_
- B11. Indicate elevation datum used for BFE in Item B9: ☒ NGVD 1929 ☐ NAVD 1988 ☐ Other (Describe) \_\_\_\_\_
- B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? ☐ Yes ☒ No  
Designation Date \_\_\_\_\_ ☐ CBRS ☐ OPA

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

- C1. Building elevations are based on: ☐ Construction Drawings\* ☐ Building Under Construction\* ☒ Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.
- C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.  
Benchmark Utilized No. MI-15-R Vertical Datum NGVD 1929  
Conversion/Comments \_\_\_\_\_


Check the measurement used.


- |   |              |   |
|---|--------------|---|
| a) Top of bottom floor (including basement, crawl space, or enclosure floor)                                  | <u>6.05</u>  | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| b) Top of the next higher floor   | <u>15.00</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| c) Bottom of the lowest horizontal structural member (V Zones only)   | <u>N/A</u>   | <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)            |
| d) Attached garage (top of slab)  | <u>5.40</u>  | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments) | <u>10.00</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| f) Lowest adjacent (finished) grade (LAG)   | <u>5.3</u>   | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| g) Highest adjacent (finished) grade (HAG)  | <u>5.6</u>   | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

☒ Check here if comments are provided on back of form.

Certifier's Name Jose F. Lopez		License Number 3086	
Title Land Surveyor and Mapper		Company Name JF Lopez & Associates	
Address 7900 NW 155th St		City Miami Lakes	State FL ZIP Code 33016
Signature 	Date 09/12/07	Telephone (305)828-2725	

  
9-12-07

<b>IMPORTANT: In these spaces, copy the following information from Section A.</b> Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 100 Cape Florida Dr. City Key Biscayne State FL ZIP Code 33149	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 2px;">For Insurance Company Use</td> </tr> <tr> <td style="padding: 2px;">Policy Number</td> </tr> <tr> <td style="padding: 2px;">Company NAIC Number</td> </tr> </table>	For Insurance Company Use	Policy Number	Company NAIC Number
For Insurance Company Use				
Policy Number				
Company NAIC Number				

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments Highest Crown of Road Elevation in front of property: 4.95' N.G.V.D.

Signature	Date 09/12/07
<input type="checkbox"/> Check here if attachments	

**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name \_\_\_\_\_

Address _____	City _____	State _____	ZIP Code _____
Signature _____	Date _____	Telephone _____	
Comments _____			

☐ Check here if attachments

**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8. and G9.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number _____	G5. Date Permit Issued _____	G6. Date Certificate Of Compliance/Occupancy Issued _____
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- G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum \_\_\_\_\_
- G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum \_\_\_\_\_

Local Official's Name _____	Title _____
Community Name _____	Telephone _____
Signature _____	Date _____
Comments _____	

☐ Check here if attachments

# Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 100 Cape Florida Dr.	For Insurance Company Use: Policy Number
City Key Biscayne State FL ZIP Code 33149	Company NAIC Number
<p>If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page, following.</p>	

FRONT VIEW





# Building Photographs

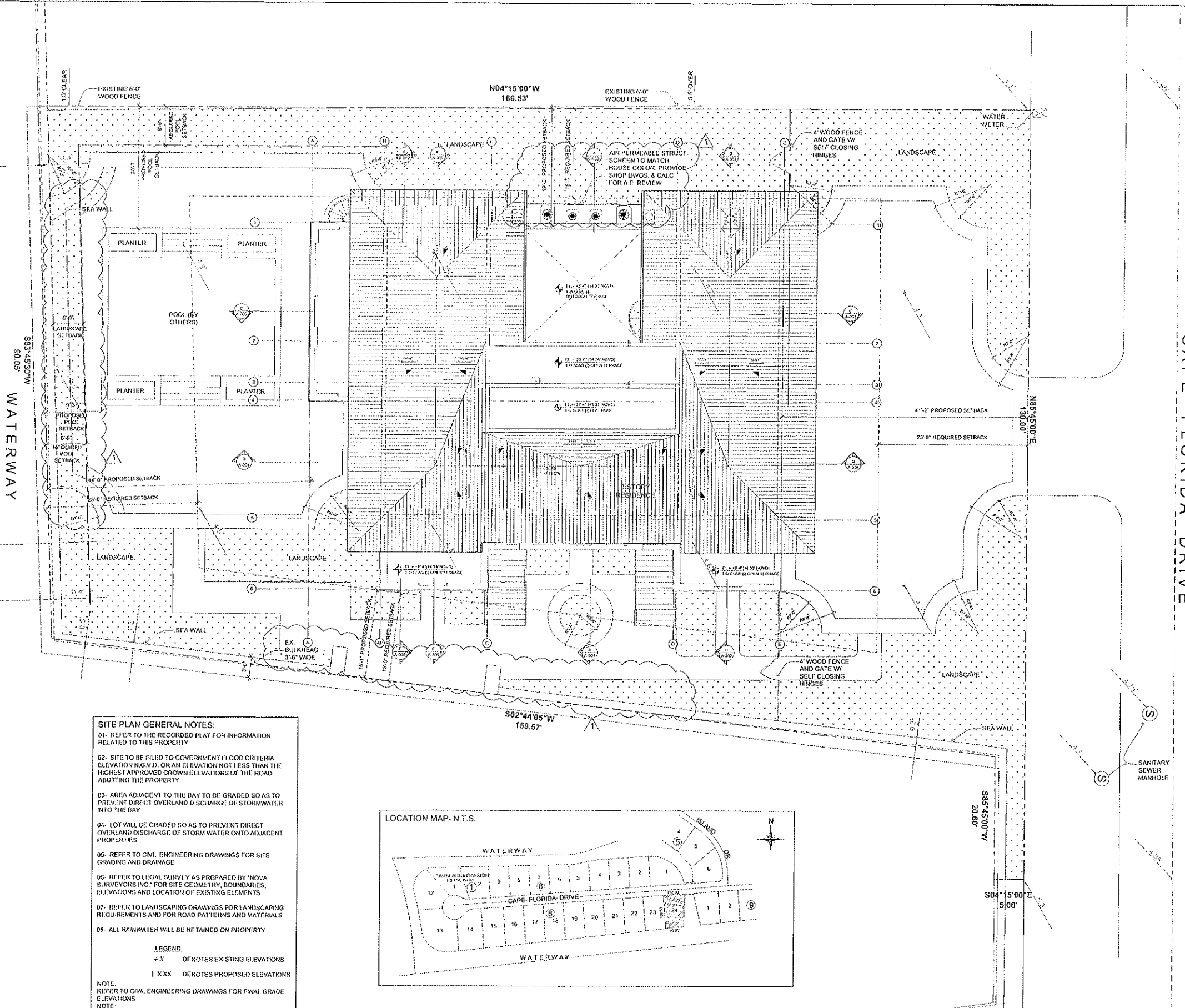
Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 100 Cape Florida Dr..	For Insurance Company Use: Policy Number
City Key Biscayne State FL ZIP Code 33149	Company NAIC Number
If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."	

REAR VIEW







**SITE PLAN GENERAL NOTES:**

01. REFER TO THE RECORDED PLAT FOR INFORMATION RELATED TO THIS PROPERTY
02. SITE TO BE FILED TO GOVERNMENT FLOOD CRITERIA ELEVATION N.G.V.D. OR AN ELEVATION NOT LESS THAN THE HIGHEST APPROVED CROWN ELEVATIONS OF THE ROAD ADJUTING THE PROPERTY.
03. AREA ADJACENT TO THE BAY TO BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO THE BAY
04. LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTIES
05. REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE GRADING AND DRAINAGE
06. REFER TO LEGAL SURVEY AS PREPARED BY "NOVA SURVEYORS INC." FOR SITE GEOMETRY, BOUNDARIES, ELEVATIONS AND LOCATION OF EXISTING ELEMENTS
07. REFER TO LANDSCAPING DRAWINGS FOR LANDSCAPING REQUIREMENTS AND FOR ROAD PATTERNS AND MATERIALS
08. ALL RAINWATER WILL BE RETAINED ON PROPERTY

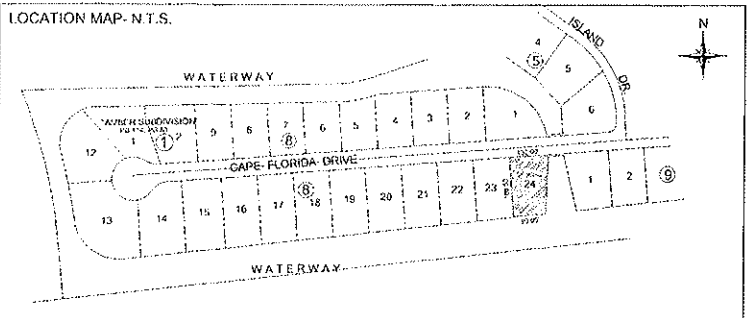
**LEGEND**

+ X DENOTES EXISTING ELEVATIONS

+ XXX DENOTES PROPOSED ELEVATIONS

NOTE: REFER TO CIVIL ENGINEERING DRAWINGS FOR FINAL GRADE ELEVATIONS

NOTE: LANDSCAPING WILL COMPLY WITH DADE COUNTY LANDSCAPE REQUIREMENT ORD 94-13 CHAPTER 18B



CAPE FLORIDA DRIVE

SITE PLAN

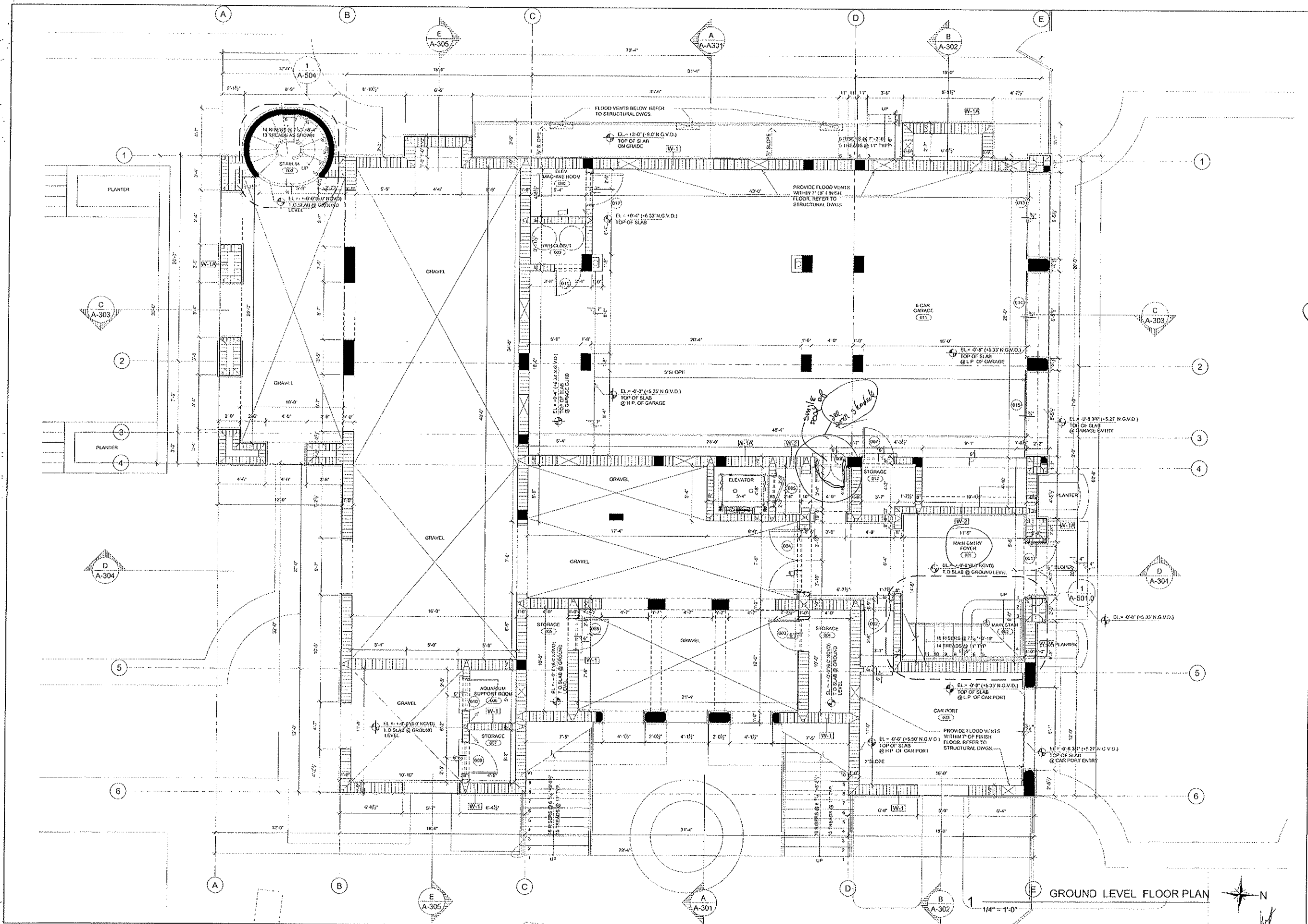
<b>LEGAL DESCRIPTION</b>		
CAPE FLORIDA SUB SEC 3 PB 75-64, LOT 24 BLK 8, LOT SIZE 100,000 X 165 OR 167.78-1239 D495 4 COC 22005-0389 01 2504 4		
<b>PROPERTY ADDRESS</b>		
100 CAPE FLORIDA DRIVE KEY BISCAYNE, FL 33149		
<b>ZONING CLASSIFICATION</b>		
VF- VILLAGE ESTATE SINGLE FAMILY DISTRICT		
<b>FLOOD CRITERIA</b>		
FLOOD ZONE AE BASE FLOOD ELEVATION: EL 9'-0" N.G.V.D.		
<b>LOT AREA</b>		
15,582 S.F.		
<b>LANDSCAPE OPEN SPACE</b>		
MINIMUM PERVIOUS AREA = 30% OF LOT AREA (4,675 S.F.) PROPOSED:		
<b>LOT COVERAGE</b>		
MAXIMUM 35% OF LOT AREA = 5,453 S.F. PROPOSED: 26.73% OF LOT AREA = 4,151 S.F.		
<b>F.A.R.</b>		
MAX. ALLOWED BASE FAR: 0.36 (15,582 S.F. X 36% = 5,970 S.F.) MAXIMUM FAR: 0.47 (15,582 S.F. X 47% = 7,794 S.F.)		
<b>FAR BONUS CRITERIA</b>		
	FAR INCREASE	TOTAL FAR INCREASE
2. OPEN AND UNENCLOSED BALCONIES LOCATED ABOVE THE FIRST FINISHED FLOOR	.00035 PER S.F. OF FLOOR AREA TO A MAXIMUM OF .03 FAR INCREASE	887 S.F. X .00035 = 0.04 (0.03)
4. GARAGE OR CARPORT CONTAINING TWO OR MORE VEHICLES PARKED PARALLEL WITH AN EXTERIOR COLUMN SEPARATING EACH OF THE SPACES	.03	(0.03)
9B. SIDE YARD SETBACK WHICH HAS A MINIMUM 15 FT. SIDEYARD SETBACK	.03	(0.03)
11. A PORTION OF THE BUILDING HAVING A LENGTH OF AT LEAST 10 FT. WITH A FRONT YARD SETBACK THAT EXCEEDS THE REQUIRED 25 FT. SETBACK	.0002 PER EACH S.F. TO A MAXIMUM OF .03	808 S.F. X .0002 = 0.16 (0.03)
		<b>TOTAL FAR INCREASE: .12</b>
<b>PROPOSED</b>		
GROUND LEVEL (BELOW BFE)	A/C	NON A/C
MAIN HOUSE	327 SF X 10% = 32.7 SF	327 SF X 10% = 32.7 SF
GARAGES	1,839 SF X 10% = 183.9 SF	1,839 SF X 10% = 183.9 SF
STORAGE	183 SF X 10% = 18.3 SF	183 SF X 10% = 18.3 SF
MAIN LEVEL	A/C	NON A/C
MAIN HOUSE	2,769 SF	2,769 SF
OPEN TERRACES	1,216 SF	1,216 SF
COVERED TERRACE	384 SF	384 SF
UPPER LEVEL	A/C	NON A/C
MAIN HOUSE	2,761 SF	2,761 SF
BALCONY	294 SF	294 SF
OPEN TERRACE	360 SF	360 SF
ATTIC	A/C	NON A/C
MAIN HOUSE	676 SF	676 SF
OPEN TERRACE	229 SF	229 SF
<b>TOTAL:</b>	<b>6,533 SF</b>	<b>6,533 SF</b>
<b>TOTAL PROPOSED F.A.R. = 0.36 (6,441 SF) + FAR BONUS 0.12 = 0.5</b>		
<b>MAXIMUM F.A.R. = 0.47 (7,794 SF)</b>		
<b>BUILDING SETBACKS</b>		
	MIN. REQUIRED	PROPOSED
FRONT	25'-0"	41'-2"
SIDE	15'-0"	15'-1" (EAST) 19'-3" (WEST)
REAR	25'-0"	44'-0"
<b>POOL SETBACK</b>		
	MIN. REQUIRED	PROPOSED
REAR	6'-0"	9'-3"
SIDE	6'-0"	10'-9"
<b>BUILDING HEIGHT</b>		
MAXIMUM: 35'-0" ABOVE EL 9'-0" (BASE FLOOD ELEVATION)		
PROPOSED: 35'-0" ABOVE EL 9'-0" (BASE FLOOD ELEVATION)		

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**JOE & TERRY POLLIO JR.**  
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OCEAN TOWER 2 #608  
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A-100-02  
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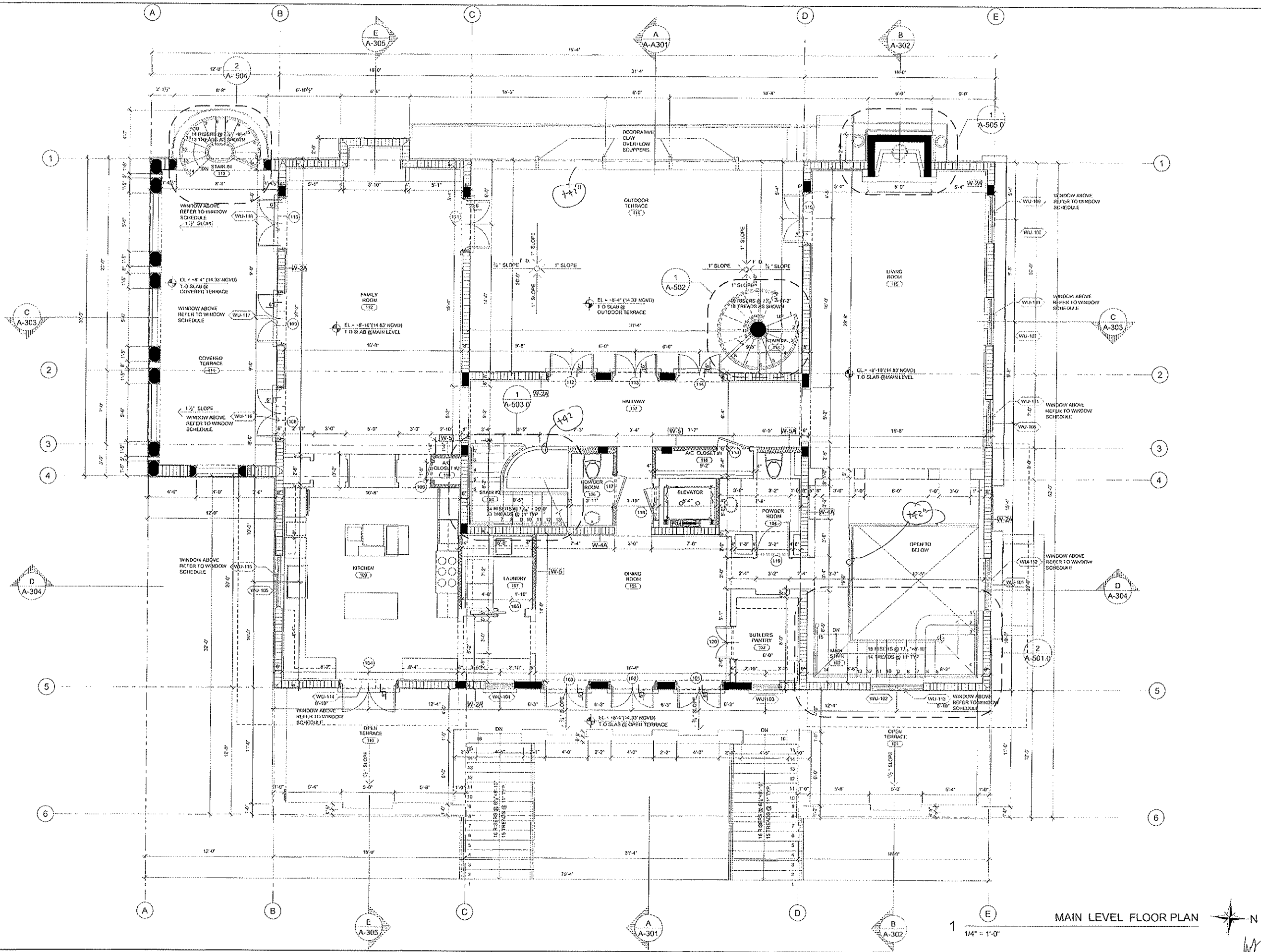
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MAIN LEVEL FLOOR PLAN

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